

**MUTUAL OPERATIONS****PHYSICAL PROPERTY****Skylights for Bathrooms or Kitchens and Solatubes Installation – Mutual Six Only**

Maintenance of the roofs of residential buildings is defined by Article 11 of the Occupancy Agreement which states that maintenance of the roofs is the responsibility of the Mutual. Skylights may be installed through a contract between the resident and a contractor under inspection of the Physical Property Department. The responsibility for maintenance of skylight installations requires definition and agreement.

The diagram shows a typical skylight installation, consisting of a dome to admit light, a wood shaft that extends from the dome down to the interior ceiling in the room, wood curbing for mounting the dome and steel flashing to make the installation watertight.

Responsibilities are as follows:

During the warranty period, the contractor is responsible for the entire skylight installation. After the warranty period, the following responsibilities apply:

- a) Mutual: The Mutual is responsible for the curbing and flashing since this will normally be changed when the building is re-roofed.
- b) Resident: The resident is responsible for the skylight dome, the skylight operating mechanism, the shaft (including painting), and the ceiling grid.

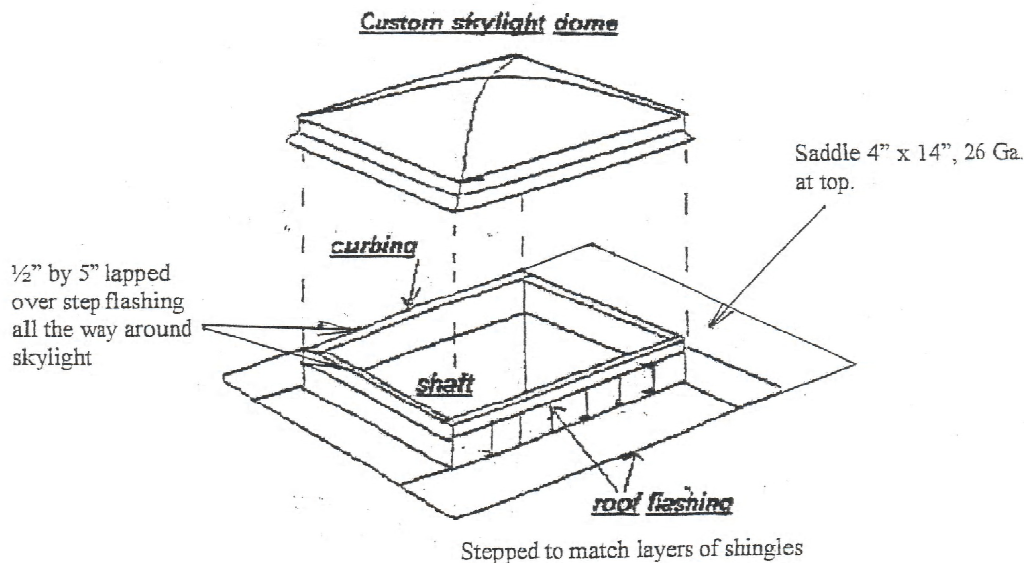
Mutual Six has defined the following specifications with regard to skylight installations:

- 1) The skylight curbing shall consist of 2" x 6" framing with a minimum 4" rise above roof sheathing.
- 2) All flashing material shall be at least 26-gauge and consist of galvanized sheet metal.
- 3) The top flashing shall consist of a 4" x 14" saddle.
- 4) Flashing on the sides shall be 4" x 6" and stepped to match the layers of shingles.
- 5) The bottom flashing shall be a minimum of 4" x 6".

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- 6) One-half-inch x 5" flashing shall be placed on top of the curb, lapped over step flashing, all the way around the skylight.
- 7) Only curb-mounted skylights shall be allowed in the Mutual. Self-flashing skylights are prohibited.



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**Solatube Installation**

- 1) All Solatube installations require a permit from the City of Seal Beach and the Physical Property of the Golden Rain Foundation, and all Solatubes shall be installed using the manufacturer's specifications and conform to all applicable building codes.

During the warranty period, the contractor is responsible for the entire Solatube installation. After the warranty period, the resident shareholder is responsible for the Solatube and all related flashing. In the event of a roof leak as a result of the Solatube installation, the resident shareholder shall be responsible for all associated costs to repair and maintain the system, including labor and material costs if Service Maintenance is called to cover the problematic area.

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- 2) Preventative maintenance: Each year at the time of fire inspections, the Physical Property Inspector shall identify and provide Service Maintenance with a list of units that have Solatubes. Each Solatube will be checked and maintained by Service Maintenance at the expense of the resident.
- 3) All fasteners at the roof flashing shall be self-sealing screws by use of a rubber grommet and shall have roof mastic applied over the top of the fastener.

**MUTUAL ADOPTION**

**AMENDMENT(S)**

SIX            11-28-06

09-22-09